

### Working Drawings

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Issue	Date	Description

Proposed New Residence For:

**XXX**

XXX



# Example Working Drawings Sloping Site

**NOTES:**  
Images Are Diagramatic Only  
Refer To Elevations For Details

**ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIAN AND THE CURRENT AUSTRALIAN STANDARDS**

**General Notes**

- Dishwasher provision under sink drainer including cold water connection & GPO
- Ventilation to internal wc / bath to be an exhaust fan in accordance with BCA F5.4 & AS - 1668.2
- O/head cupboards to 2250mm AFL with MDF bulkhead over
- All openings to have 2100mm AFL
- Robe fitout (1) shelf with hanging rail
- PVC Downpipes
- Lift off hinges to w/c, Ensuite, Bathroom
- Dimensions are to be verified prior to commencement of work
- Given dimensions are to have priority to scaled dimensions
- All stairs are to have 190mm maximum risers and 240mm minimum goings
- All wet areas to be in accordance with the current Building Code of Australia 3.8.1 & current AS.
- Floor wastes to wet areas
  - ☉ Denotes Smoke Detector

**Site Notes**

- Contractor to verify all boundary clearances & site set-out dimensions prior to commencement of construction
- Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements & flood information
- Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified
- Batters to comply appropriate soil classification described in table 3.1.1.1. BCA Vol.2.
- Vehicular cross-over to be constructed as per local council requirements and/or approval
- Driveways, paths, porch, alfresco area finish as per specifications
- Scrape away vegetation & cut & fill to provide a level building platform
- Finish surface to be graded away from house at minimum of 1:20 for at least 1m
- Surface water to be channelled to council stormwater drainage system
- The driveway & pathways indicated on plan are suggested layouts
- All ground levels are approximate only
- All works to be constructed in accordance with the current Building Code of Australia, the current Australian Standards and all relevant current trade & technical manuals

**Stormwater / Drainage Notes**

- Drainage to be in accordance with part 3 of the BCA. Point to meet local authority requirements
- All plumbing & draining is to comply with the standard sewerage by-laws & requirements of the local authority
- All downpipes to be installed in accordance the current Building Code of Australia 3.5.2.5, each downpipe must not serve more than 12m of gutter length
- Stormwater system to local authority requirements (owner / applicant / builder to ensure no storm water runoff occurs onto adjoining properties, back onto any structures & no ponding under sub floor areas
- Stormwater approval for legal discharge to be obtained from local authority prior to work commencing. Discharge is proposed to: kerb & channel, rubble pit to council requirements, inter allotment drainage, storm water service main, canal or river.

**Energy Efficiency**

To comply with BCA 3.12 (unless otherwise stated)

**AS PER ENERGY RATING ASSESSMENT CERTIFICATE**

**Construction Notes**

This building has been designed in accordance with the current building code of australia, building act ammendment & australian standards

Roofing	Colorbond sheet, Pitch as specified on drawings
Ceiling Height	As specified on drawings
Joinery Level	As specified on drawings
Footings	To engineers design & detail
Slab Height	To engineers design & detail
Termite Management	In accordance with BCA volume 2, 3.1.3 termite risk management and A.S. 3660.1/1995
External Walls - Brick Veneer	230mm - 110mm Brickwork, 50mm Cavity, 70mm Timber Studs
Internal Linings	10mm Plasterboard 6 mm Villaboard to all wet areas
Ceiling Linings	10mm Plasterboard
Soffit Linings	4.5mm Hardiflex
Window Flashing	To All Windows. As per manufacturers details
Roof Bracing	Speed Brace. As per manufacturers details
Fascia	Metal Fascia Fixed To Standard Rafter Bracket, Complete With Mitre Angles, Joining Sleeves Etc
Downpipes	PVC
Guttering	Colorbond
Smoke Alarms	To Be Hard Wire Installed In Accordance With Part 3.7.2 Of The B.C.A.

**Timber Schedule**

Note: all timber sizes are based on the current timber engineering code AS 1720. All member types are analyzed using limit state principles incorporating the latest timber technology available. All of the member types accessible using timber sizes meet the loading and serviceability criteria outlined in AS 1170.1 saa loading code and as 1684.2 - 2010 - residential timber-framed construction - part 1 - design criteria. All timber framing to be in accordance with AS 1684.3-2010

Wall Framing	Seasoned Pine
Top Plate (Load Bearing)	2 / 35 X 70 (MGP 12)
Bottom Plate (Load Bearing)	35 X 70 (MGP 12)
Bottom Plate (Non Load Bearing)	35 X 70 (MGP 10)
Studs (Load Bearing)	35 X 70 (MGP 12) @ 450 cts.
Studs (Non Load Bearing)	35 X 70 (MGP 10) @ 600 cts. (max. height 3000mm)
Nogging:	35 X 70 (MGP 10)
Jam studs:	Beside open. up to 1400mm wide 2 / 35 X 70 (MGP 12) Beside open. up to 2300mm wide 3 / 35 X 70 (MGP 12) Beside open. up to 3300mm wide 4 / 35 X 70 (MGP 12)

Roof framing:	Prefabricated timber roof trusses @ specified 600 cts. Trusses to be engineer designed & fixed in accordance with manufacturer's specifications & tie down details
Lintels & beams:	As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details
Bearers & joists	As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details

**Articulation Joints**

- (a) Verticle articulations joints must be provided in unreinforced masonry walls except where the site soli classification is A or S
- (b) Articulation joints between masonry elements must have a width not less than 10 mm and be provided (see **Figures 3.3.1.7 and 3.3.1.8**)-
  - (i) in straight, continuous walls having no openings, at not more than 6 m centres and not closer than the height of the wall away from corners; and
  - (ii) where the height of the wall changes by more than 20%, at the position of change in height; and
  - (iii) where openings more than 900x900 mm occur, at not more than 5 m centres, and positioned in line with one edge of the opening; and
  - (iv) where walls change in thickness; and
  - (v) at control or construction joints in footing slabs; and
  - (vi) at junctions of walls constructed of different masonry materials; and
  - (vii) at deep chases (rebates) for service pipes.
- (c) For all articulation joints in cavity walls, extendable masonry anchors must be built in at every fourth course (see **Figure 3.3.1.9**). For veneer construction the extendable ties may be omitted.
- (d) For single leaf masonry walls stabilised by return walls, or engaged piers, any articulation joints must be within 300 mm of the vertical support (see **Figures 3.3.1.3 and 3.3.1.4(b)**).
- (e) Where masonry is required to be waterproof all joints must be sealed with a flexible, compressible material (see **Figure 3.3.1.9**).
- (f) Articulation joints must not be constructed adjacent to arched openings.
- (g) Articulation joints must not be located in unreinforced masonry above garage door openings or the like unless the panel of masonry is laterally supported with masonry ties or other suitable means.

**DEVELOPMENT NEAR UNDERGROUND UTILITY SERVICES**

For the purpose of this section of the table:

- An approval that has been granted to the development pursuant to Section 823 of the Water Act 2000 is deemed to satisfy the Performance Criteria of this section.<sup>4</sup>
- "Access Cover" means a removable cover to provide access for cleaning or inspection of sewers, stormwater drains and water mains.
- "Associated Structure" includes a sewer or stormwater manhole, a water meter and a fire hydrant.
- "Building" has the meaning defined in the Building Act 1975.
- "Connection Point" has the meaning defined in the Standard Sewerage Law.
- "Invert Level" means the bottom level of the inside of the pipe or drain.
- "Manhole" means an access chamber being a below Ground Level structure, with a cover, built in the line of a sewer or stormwater drain, through which a person may access the sewer or stormwater drain.
- "Sewer" includes sanitary drain jump-ups and capped slope junctions and manholes.
- "Structure" includes a masonry fence, deck, pergola, satellite dish, water storage tank and a retaining wall (of greater than 1 metre in Height).
- "Zone of Influence" means the area shown on the following diagram:

**Legend**

BCA	Building Code of Australia	WMS	Washing Machine Space
AS	Australian Standards	W.I.R	Walk-in-Robe
DP	Downpipe	SGD	Sliding Glass Door
HWS	Hot Water System	SW	Aluminum Sliding Window
SHS	Steel Post	DH	Aluminum Double Hung Window
SD	Service Duct	AW	Aluminum Awning Window
FW	Floor Waste	LV	Aluminum Louvre Window
T.B.C	To Be Confirmed	FG	Fixed Glass
R.L	Relative Level	SL	Side Light
AFL	Above Floor Level	SHR	Shower
NGL	Natural Ground Level	TR	Towel Rail
FGL	Finished Ground Level	TRH	Toilet Roll Holder
OHC	Overhead Cupboard	VSD	Vinyl Sliding Door
UBO	Under Bench Oven	MSD	Mirrored Sliding Door
WO	Wall Oven	CSD	Cavity Sliding Door
		RW	Rainwater Line
		DW	Dishwasher Provision
		MO	Microwave Provision

**Area Calculations**

Living Lower:	29.56 sqm
Living Upper:	119.98 sqm
Garage:	36.08 sqm
Porch:	3.98 sqm
Alfresco:	12.31 sqm
<b>Total:</b>	<b>201.91 sqm</b>



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Client:  
**XXX**  
 XXX

Title:  
**Legends / Notes**  
 Design Name:  
**Outrigger 201**

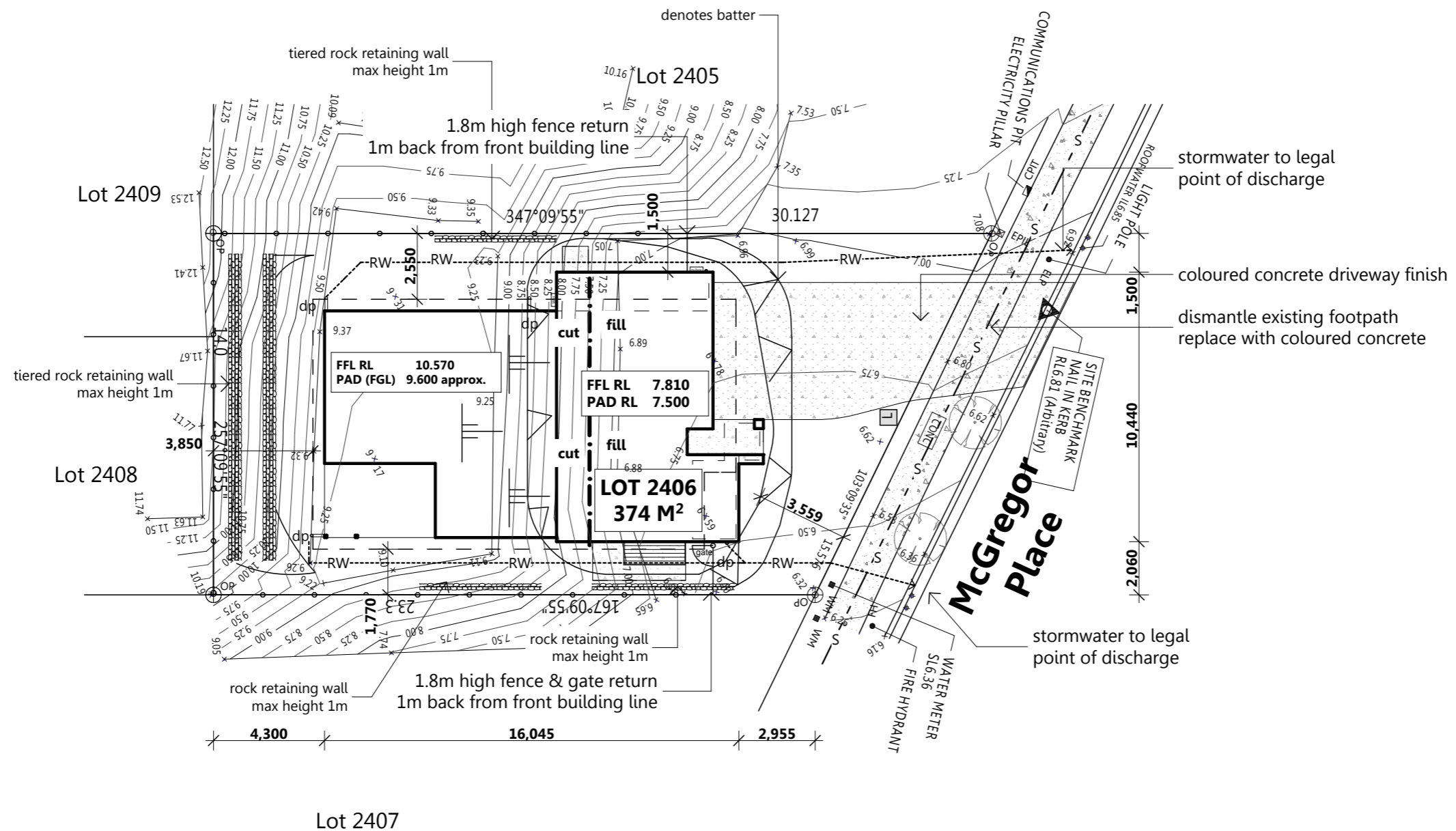
Plot Date: 6/07/2015	Drawing No: 2 of 12	Issue:	Scale: N/A
Job N°:		Designed By: MB	
		Drawn By: MB	
		Checked By: MB	

**Working Drawings**



**Site Notes:**

- length of all retaining walls t.b.c on site by supervisor
- retaining walls higher than 1m in height to be engineered designed
- retaining walls constructed from treated pine timber or rock as per plans
- agriculture drainage systems to be used
- retaining walls may change location at supervisor's discretion if required
- fencing in accordance with developer covenants
- landscaping in accordance with developer covenants
- driveway gradient not to exceed 1:5
- Batters to comply appropriate soil classification described in table 3.1.1.1.BCA Vol.2.
- stormwater to legal point of discharge



**Legend**

	rock retaining wall
	timber retaining wall
	direction of fall
FGL 17.500	Proposed FGL RL
	NGL RL
dp	Downpipe Location
---RW---	Roof Water Line
	Stormwater Line
-S-	Sewer Line
	1800mm high timber fence
	590X350 rendered brick piers
	Painted horizontal timber battens
	1500mm high timber top rail & posts with pool style infill fencing
	Single timber gate
	Rendered Letterbox
	Rubbish Bin Location

**Real Property Description**

Lot Number: 2406  
 Registered Plan Number: SP 230012  
 Parish: Stapylton  
 County: Stanley  
 Local Authority: Ipswich C.C

Site Area: 374M<sup>2</sup>  
 Site Coverage: 40%

**Driveway Gradient**

Grade	1:8	1:8	1:4	1:8
Transitional	Grade	n/a	n/a	n/a
NGL (boundary)	Distance	n/a	n/a	n/a
FFL	RL 7.810			
Height Gain	1.01 m			
Distance	8.3 m			

**Area Calculations**

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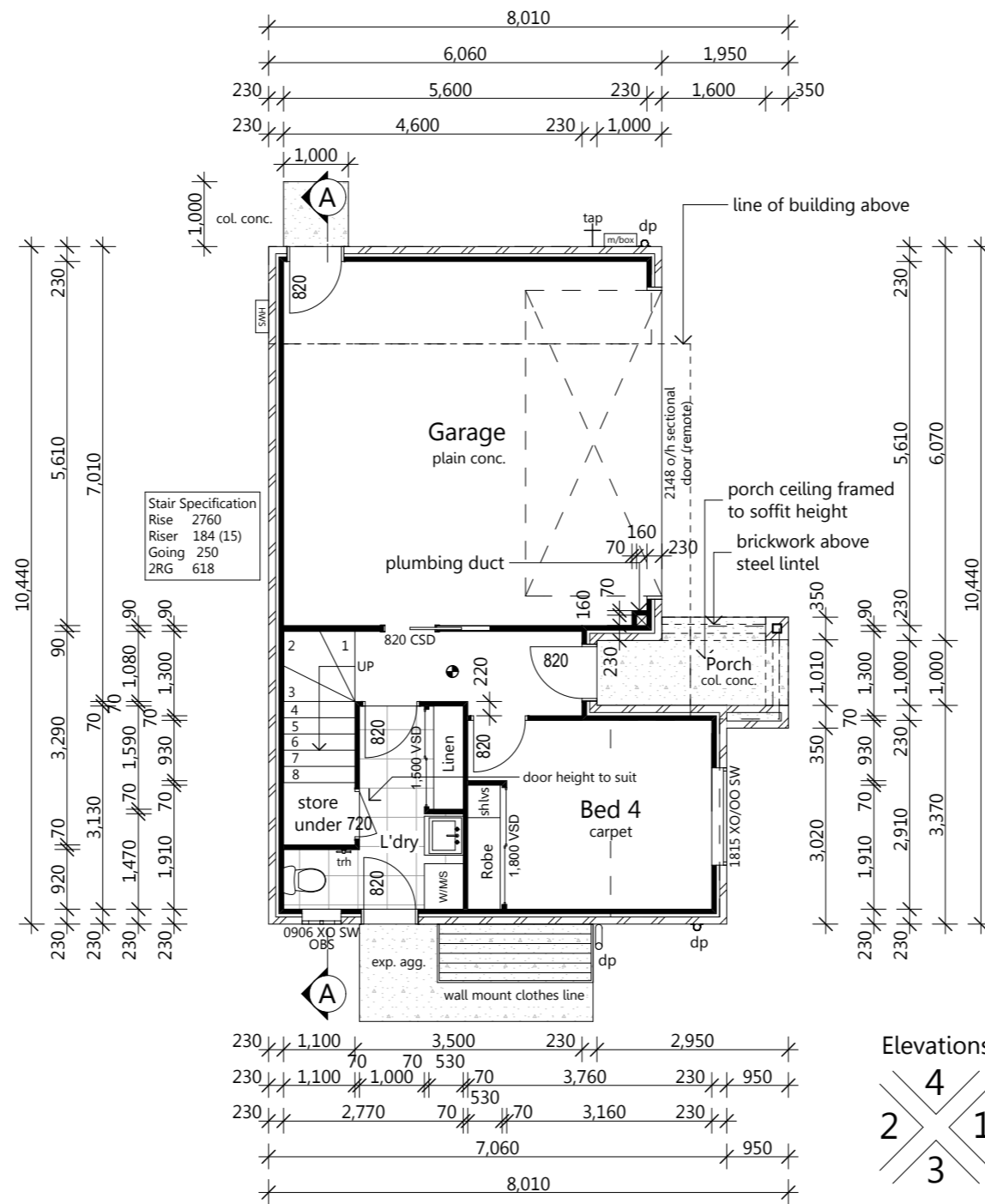
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 Design Name:  
**Outtrigger 201**

Plot Date: 6/07/2015 Drawing No: 3 of 12 Issue: Scale: 1:200 @ A3  
 Job No: Designed By: MB  
 Drawn By: MB  
 Checked By: MB

**Working Drawings**



- Note:**
- Lift off hinges to wc door
  - Provide gpo & cold water tap provisions to d/w space
  - Continuous flow hws, position to be confirmed
  - Mechanically vent rooms without natural ventilation
  - All shower roses to be AAA rated
  - Water pressure limited to 500KPa at the meter
  - All ground drains to be > 1000mm from gas bottle location
  - Nogging to be positioned where indicated in bathroom at 1100 aft for fixing of towel rail (TR)
  - Handrail to be fixed to one side of all stairways (1000mm or higher only)
  - Water connection to fridge space at 1900mm aft
  - Opening windows in bedrooms with fall height of 2m or greater to be restricted to max. 125mm opening (Sliding windows with keyed vent locks; awning with ratchet restriction)



Area Calculations	
Living Lower:	29.56 sqm
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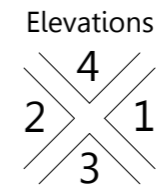
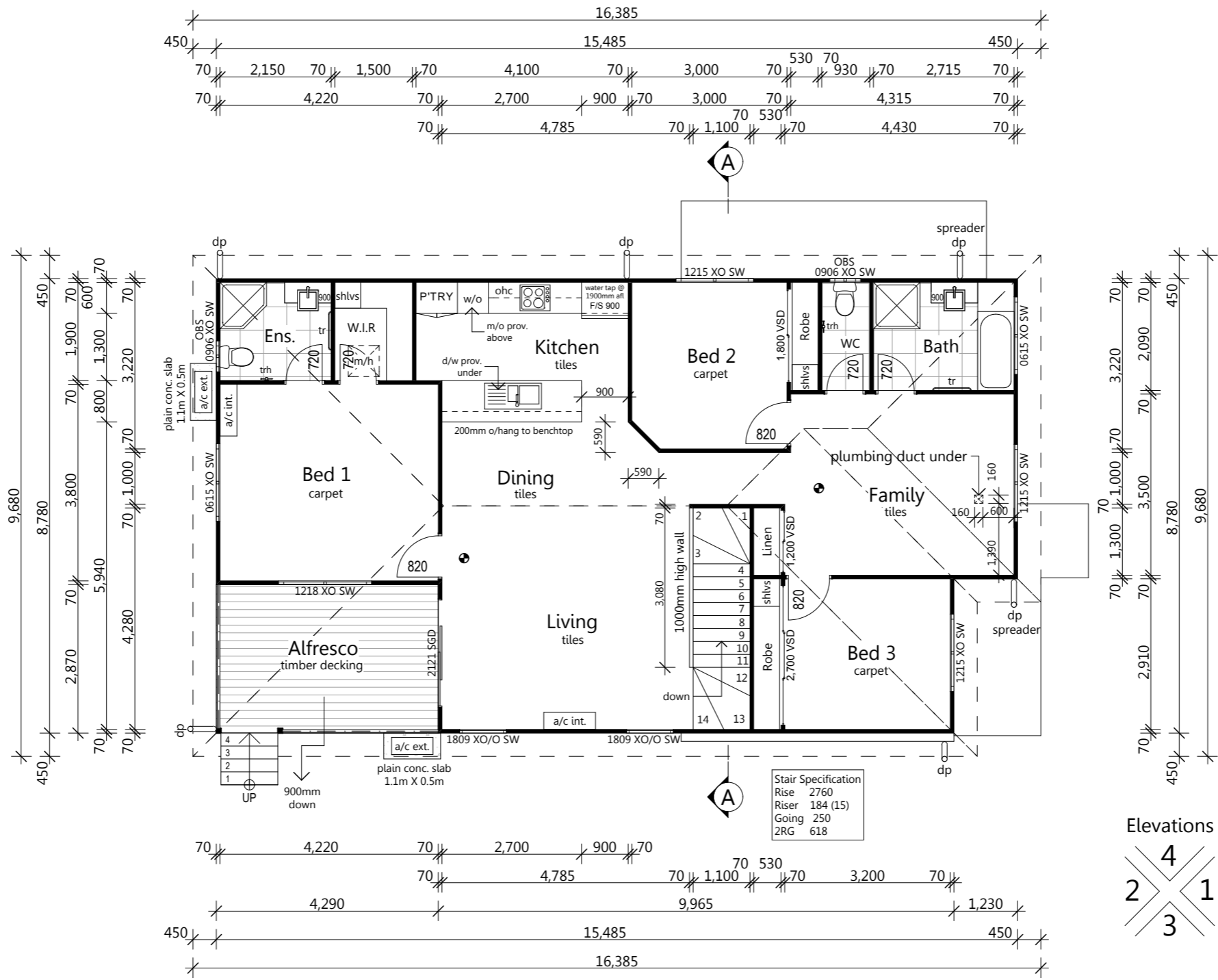
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 Design Name:  
**Outrigger 201**

Plot Date: 6/07/2015  
 Drawing No: 4 of 12  
 Issue:  
 Scale: 1:100 @ A3  
 Designed By: MB  
 Drawn By: MB  
 Checked By: MB

**Working Drawings**



- Note:**
- Lift off hinges to wc door
  - Provide gpo & cold water tap provisions to d/w space
  - Continuous flow hws, position to be confirmed
  - Mechanically vent rooms without natural ventilation
  - All shower roses to be AAA rated
  - Water pressure limited to 500KPa at the meter
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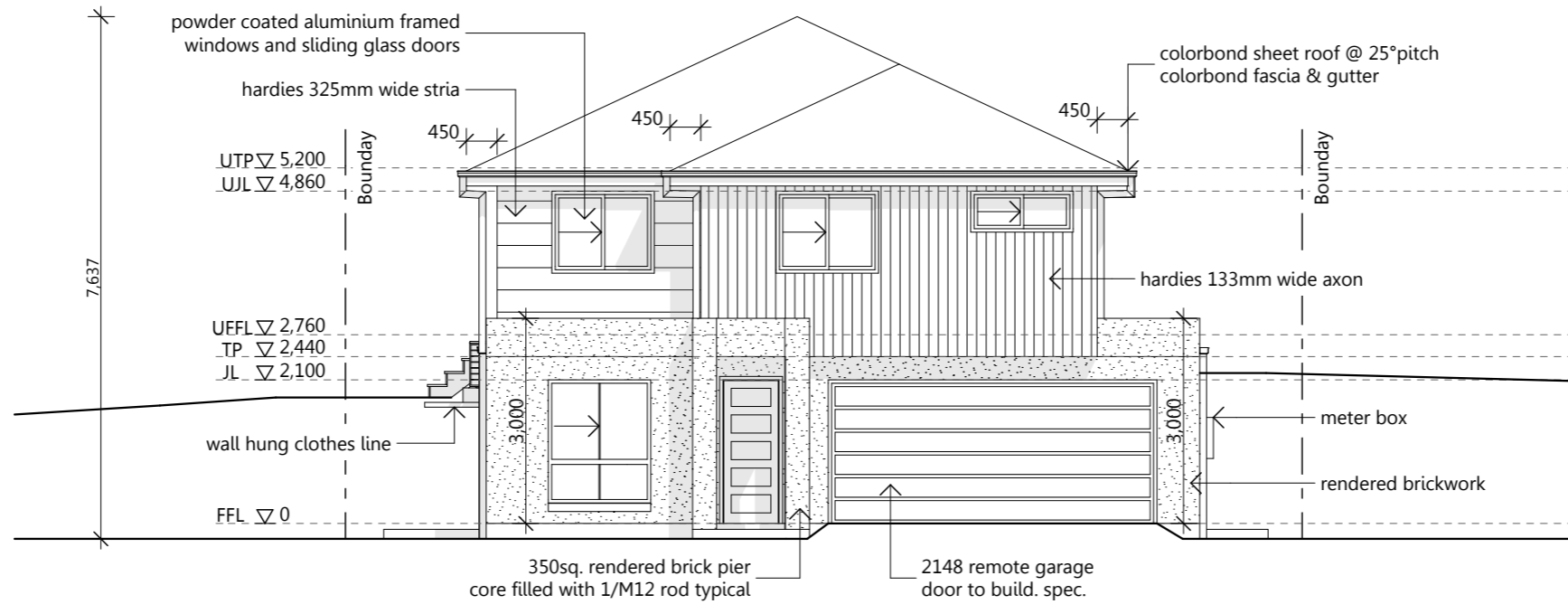
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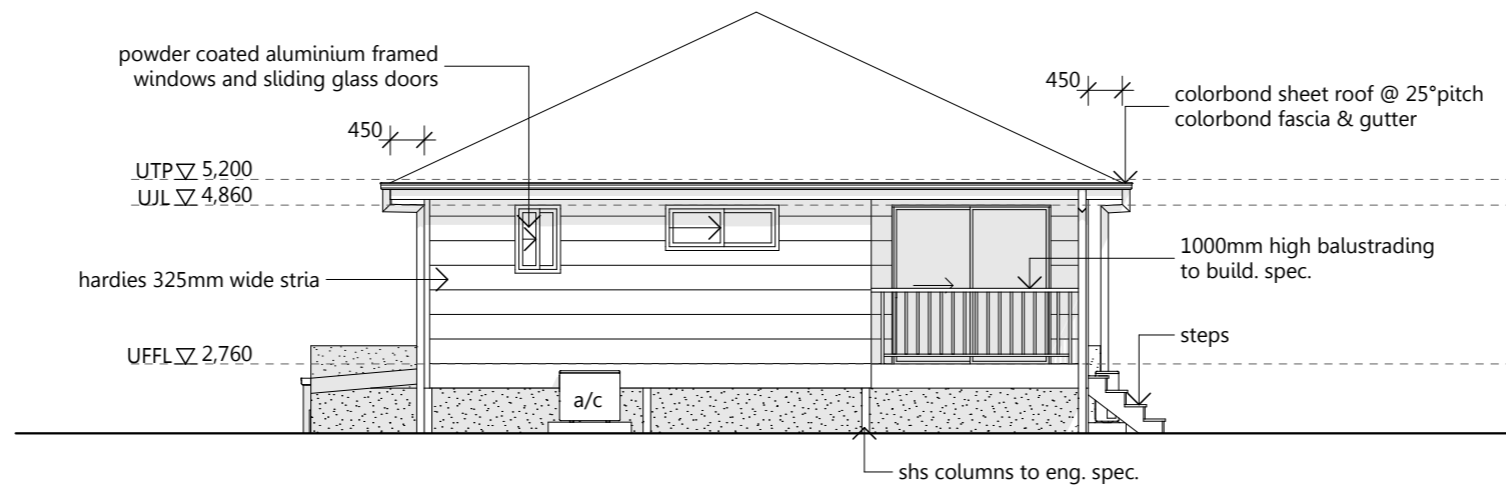
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 Design Name:  
**Outrigger 201**

Plot Date: 6/07/2015	Drawing No: 5 of 12	Issue:	Scale:
Job N°:		Designed By: MB	1:100 @ A3
		Drawn By: MB	
		Checked By: MB	

**Working Drawings**



**Elevation 1**



**Elevation 2**

**Note:**

- Refer to colour specifications for detailed internal and external colours / materials
- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening (Sliding windows with keyed vent locks; awning with ratchet restriction)

**Area Calculations**

Living Lower:	29.56 sqm
Living Upper:	119.98 sqm
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Title:

Elevations 1 of 2

Design Name:

Outrigger 201

Plot Date: 6/07/2015

Job N°:

Drawing No:

6 of 12

Issue:

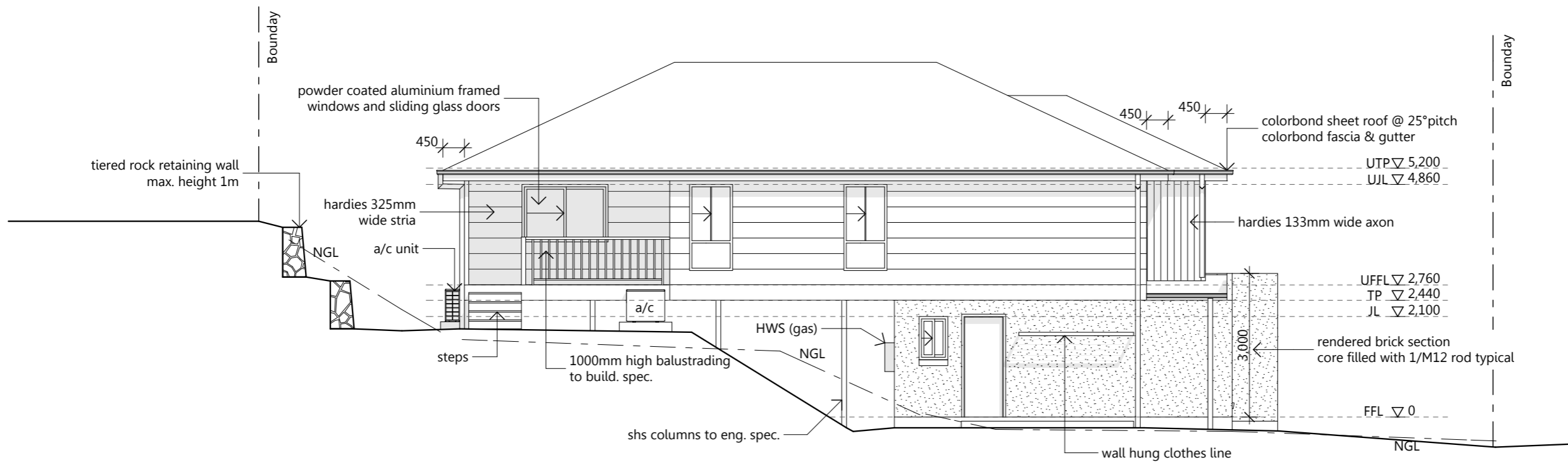
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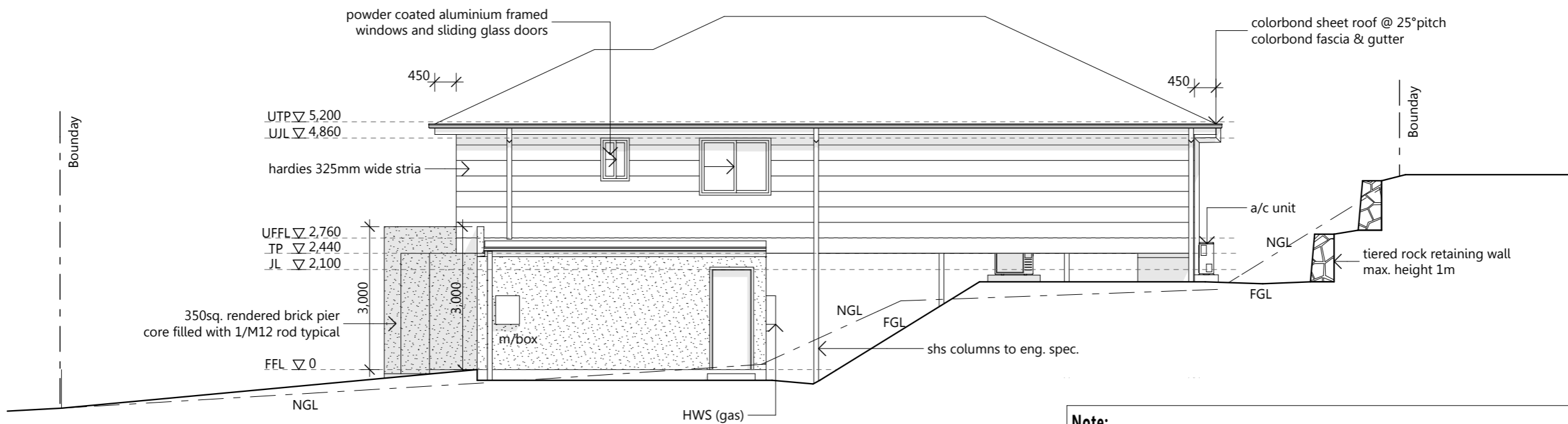
Drawn By: MB

Checked By: MB

**Working Drawings**



**Elevation 3**



**Elevation 4**

**Note:**

- Refer to colour specifications for detailed internal and external colours / materials
- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening (Sliding windows with keyed vent locks; awning with ratchet restriction)

**Area Calculations**

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**XXX**

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Title:

Elevations 2 of 2

Design Name:

Outrigger 201

Plot Date: 6/07/2015

Job N°:

7 of 12

Working Drawings

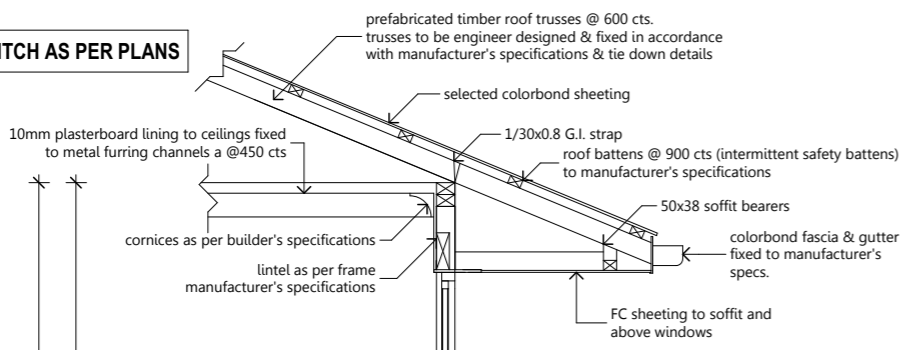
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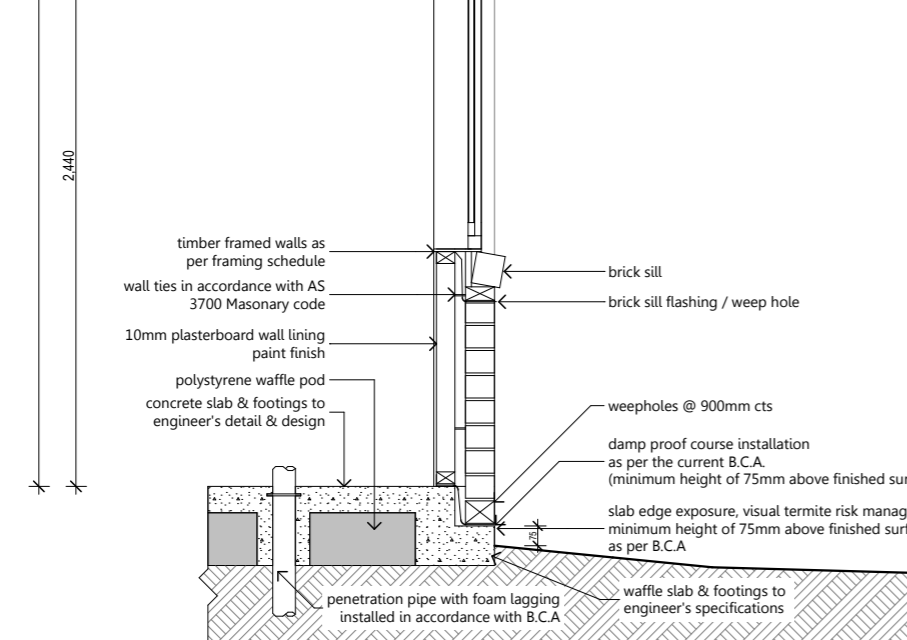
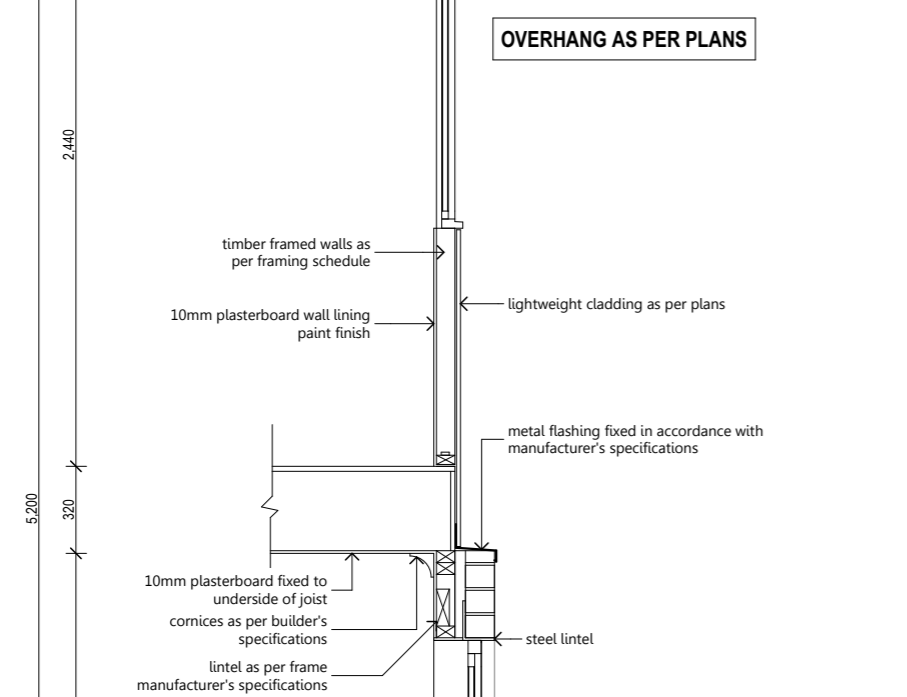
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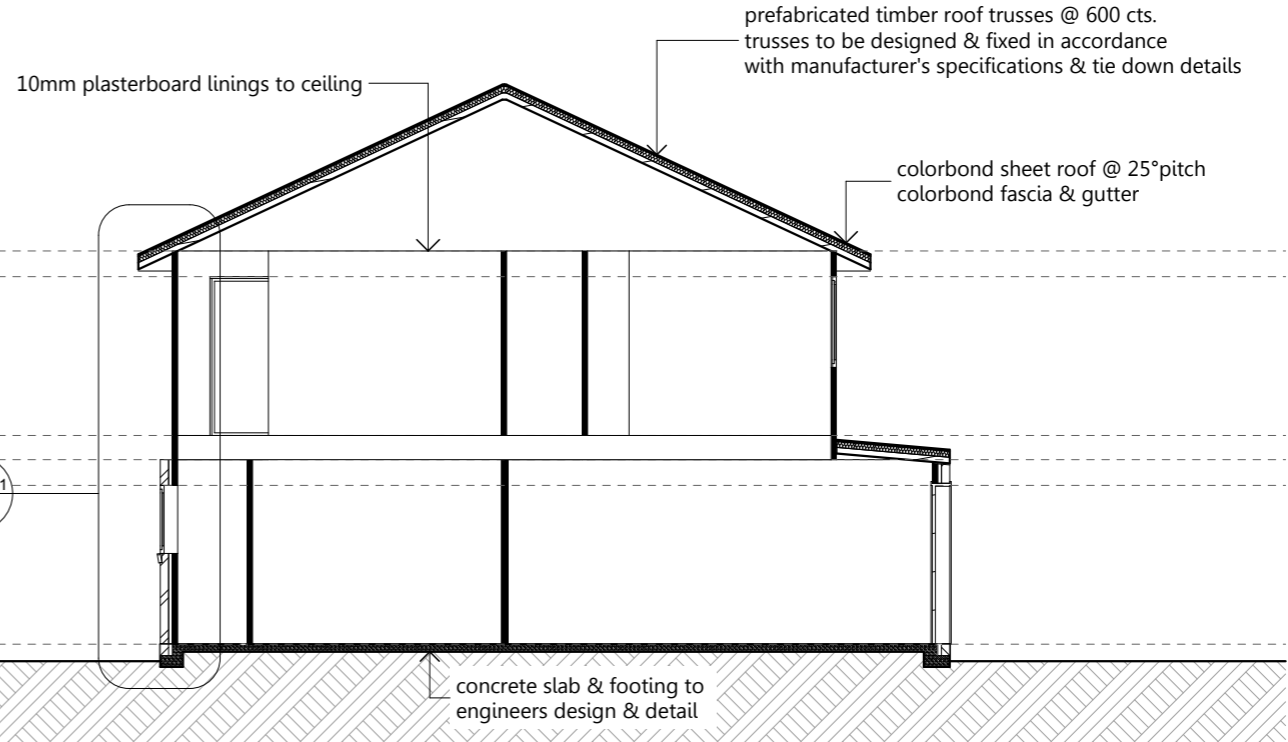
**ROOF PITCH AS PER PLANS**



**OVERHANG AS PER PLANS**



**Detail 1 N.T.S**



**Section A 1:100 @A3**

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Title:  
**Sections / Details**  
Design Name:  
**Outrigger 201**

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**Working Drawings**







### Electrical Legend

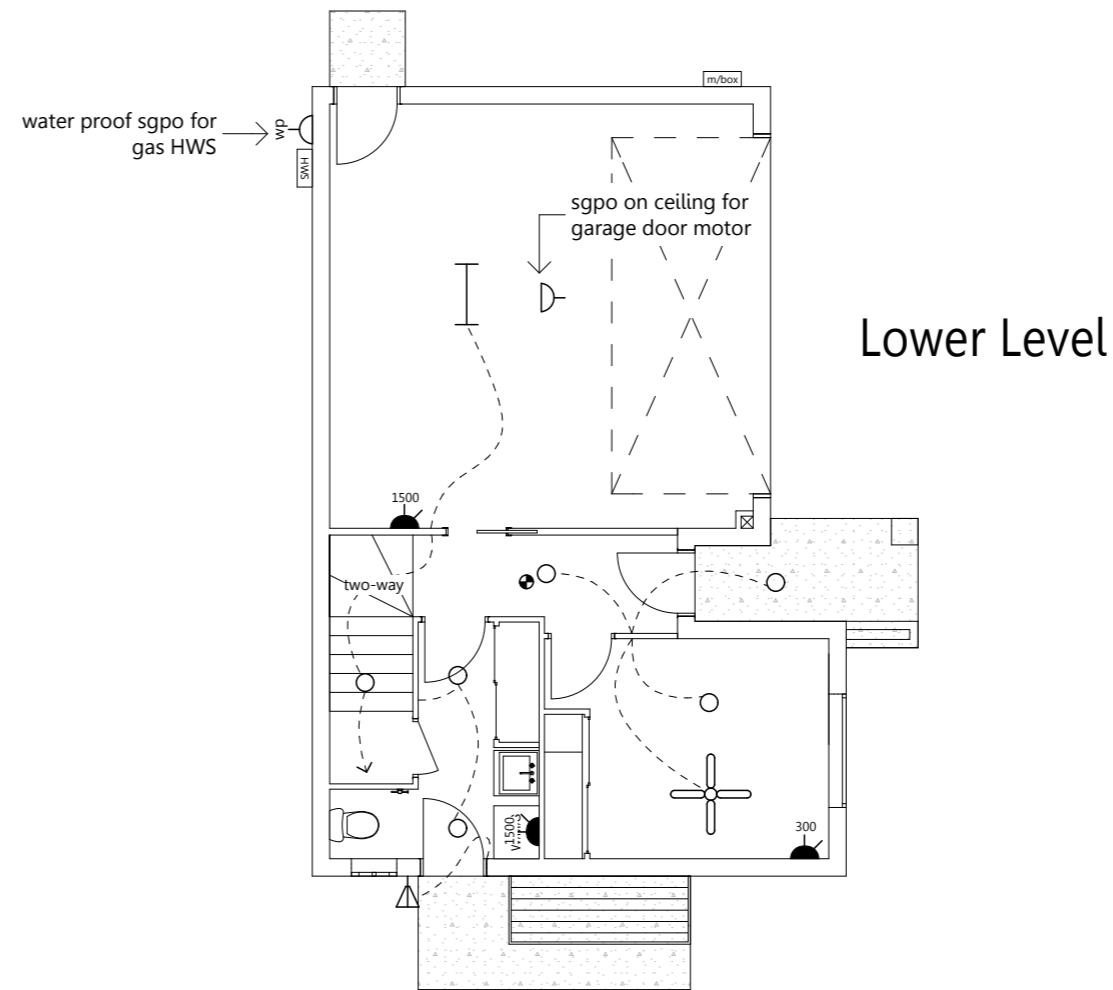
- Double power outlet (water proof)
- Single power outlet (water proof)
- Single power outlet
- Double power outlet
- feature downlight point - 18w
- Down light point - 18w (CFL)
- Down light point - 18w (LED)
- Single fluorescent light point - 36w
- Double fluorescent light point - 36w
- Smoke detector
- Round Oyster Fluro Light Point - 36w
- Wall mounted flood light point - 120w
- Exhaust Fan on separate switch control vented into ceiling space
- Exhaust Fan on light switch control vented externally unless stated otherwise
- Phone point
- T.V Point
- Ceiling fan
- Ceiling fan / light
- Air Conditioner - Internal Unit
- Air Conditioner - External Unit

### Electrical Notes

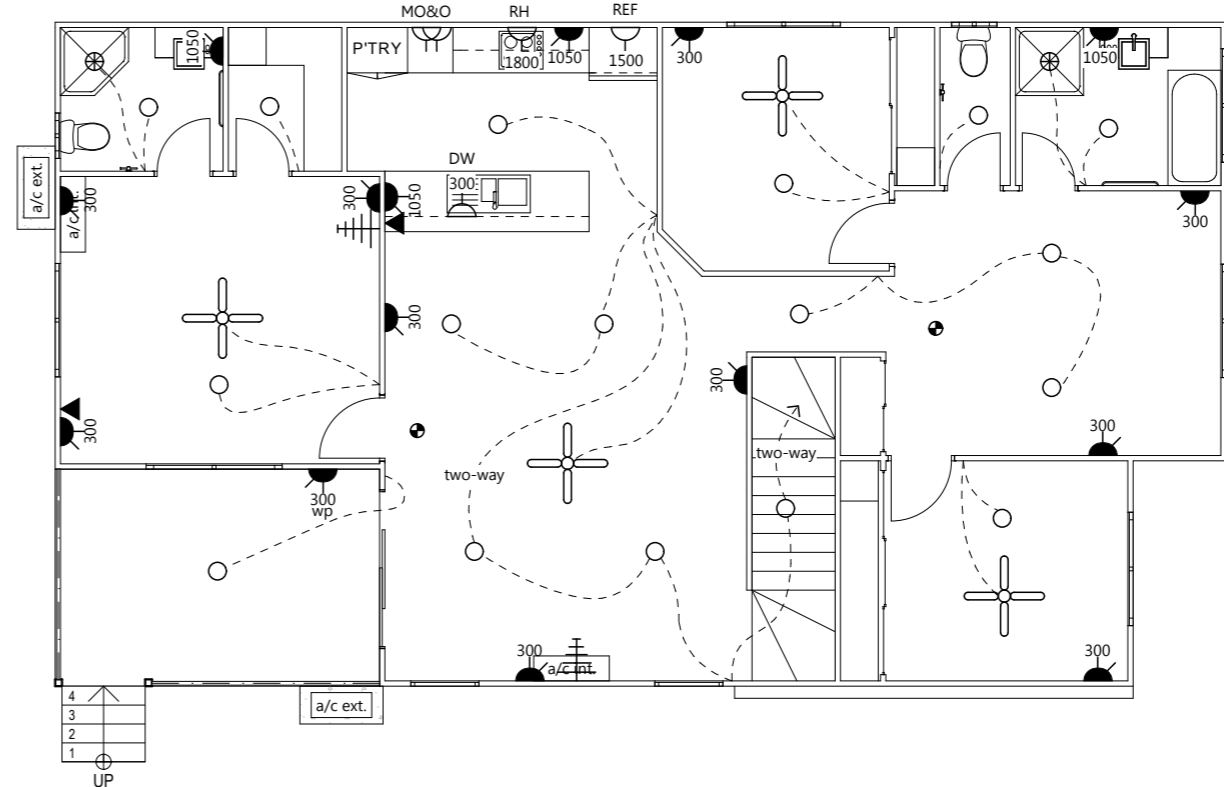
- Light Switches @ 1150 AFL
- Wall Mounted Lights @ 2000 AFL
- Power Outlets (Standard) @ 300 AFL
- Power Outlets (Other)**
- Microwave Oven (Oven Tower) @ 1800 AFL
- Microwave Oven (Under Bench) @ 700 AFL
- Kitchen Bench @ 1050 AFL
- Refrigerator @ 1500 AFL
- Rangehood @ 1800 AFL
- Dishwasher @ 300 AFL
- Vantiy Basins @ 1050 AFL
- Laundry Bench @ 1050 AFL
- Washing Machine @ 1500 AFL

Ventilation to internal wc, bath, ensuite to be an exhaust fan in accordance with BCA F5.4 & AS - 1668.2

Artificial lighting	total allowance (watts)	Actual Watts total used
Class 1 building (5w/m <sup>2</sup> )	985 (watts)	696 (watts)



Lower Level



Upper Level

Area Calculations	
Living Lower:	29.56 sqm
Living Upper:	119.98 sqm
Garage:	36.08 sqm
Porch:	3.98 sqm
Alfresco:	12.31 sqm
<b>Total:</b>	<b>201.91 sqm</b>



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**XXX**  
 XXX

Title:  
**Electrical Plan**  
 Design Name:  
**Outtrigger 201**

Plot Date: 6/07/2015 Drawing No: 10 of 12 Issue: Scale: 1:100 @ A3  
 Job N°: Designed By: MB  
 Drawn By: MB  
 Checked By: MB  
**Working Drawings**



## Bracing Notes

### BRACING TYPES USED:

#### Type (h) Method B - Plywood

- Minimum length of panels may be 600mm
- Plywood shall be fixed to frame in a/w AS1684.2 using 30 x 2.8mm diam. galvanized flathead nails or equivalent
- Fastener spacing; top and bottom plate 150mm, vertical edges 150mm, intermediate studs 300mm
- Bracing capacity of Type (h) Method B is 6.0kN/m

#### Type (d) - Metal angle brace

- Maximum depth of notch shall not exceed 20mm
- Length of bracing 1800mm min. to 2700mm max.
- Bracing capacity of Type (d) is 3.0kN/m
- Metal angle of min. nominal section of 18 x 16 x 1.2mm must be fixed to frame in a/w AS1684.2
  - 2/30 x 2.8mm diam. nails to each stud
  - 30 x 0.8mm galv. strap 3/30 x 2.8mm diam. galv. flathead (or equivalent) nails to each end to stud

### STRUCTURAL BRACING:

- For wall heights greater than 2700mm the bracing capacity of bracing walls is reduced and must be recalculated using the values given in Table 8.1.9 of AS1684.2/AS1684.3.
- Bracing shall initially be placed in external walls and where possible at the corners of the building. Remaining bracing shall be evenly distributed throughout building.
- Bracing shall not be placed on external walls under the eaves unless suitable connections to the main ceiling diaphragms are provided.
- The maximum distance between braced walls at right angles to the building length/width shall not exceed 9000mm for wind classification N2. For wind classification greater than N2 spacing shall be in accordance with Table 8.20 and 8.21 in AS1684.2/AS1684.3.
- All internal bracing walls shall be fixed to the floor, ceiling and/or external wall frame with structural connections of equivalent shear capacity to the bracing capacity of that particular bracing wall.

### ROOF TRUSSES and ROOF BRACING:

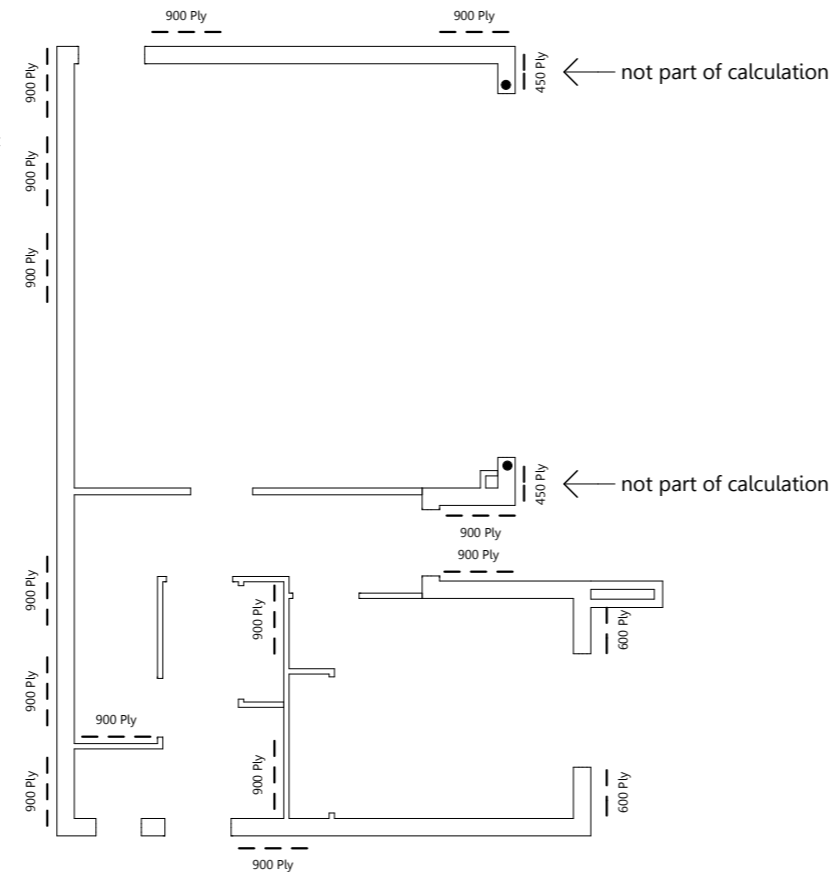
- To be designed by truss manufacturer to comply with AS1684.2, AS1720 and AS4440.

### TEMPORARY BRACING NOTES:

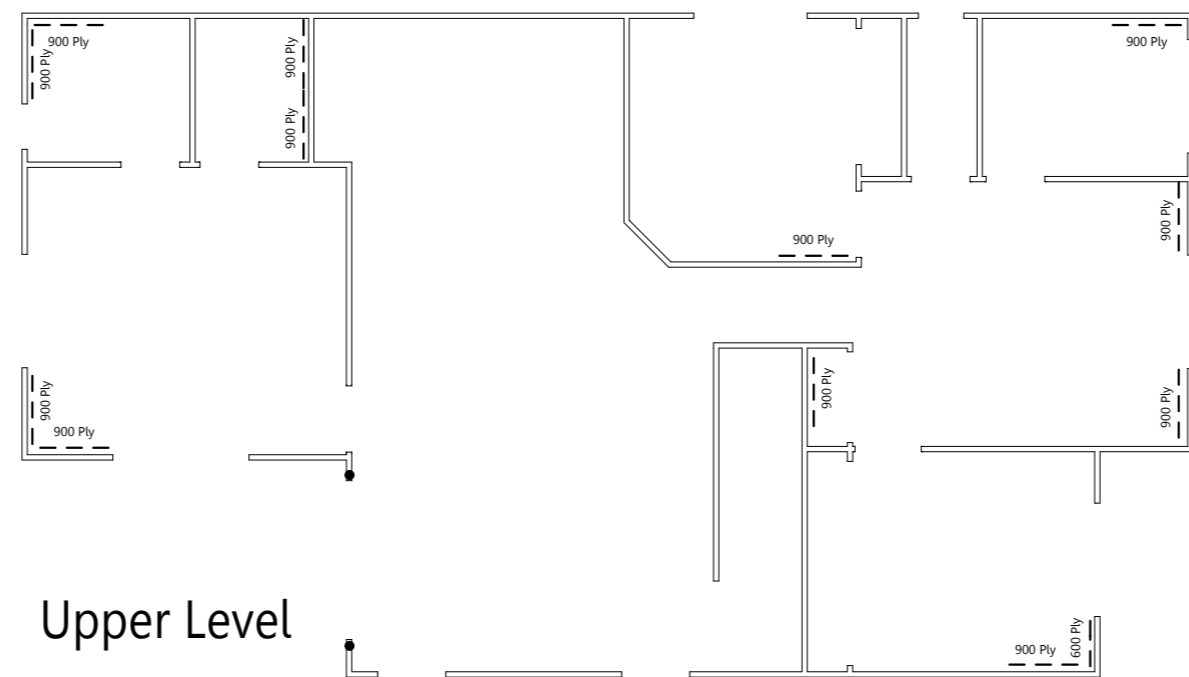
- The builder is to ensure that the building is adequately braced during construction.
- Temporary bracing shall be equivalent to at least 60% of the permanent bracing required.
- Temporary bracing may form part of the installed permanent bracing.

### NOMINAL WALL BRACING:

- Nominal bracing, wall frames lined with sheet material such as plywood, plasterboard or fibre cement, may provide up to 50% resistance of the total racking forces.
- Wall frames must be nominally fixed to the floor and roof frame.
- Nominal bracing shall be evenly distributed throughout the building.
- Minimum length of nominal bracing walls shall be 450mm.
- Sheeted one side only: Bracing capacity 0.45kN/m
- Sheeted two sides: Bracing capacity 0.75kN/m
- 1/75mm masonry nail, screw or bolt @1200 crs max.



## Lower Level



## Upper Level

### Direction - X

Upper Level - **11.92 kN** Required

Direction X	N2		Sheet Roof	
Type	Length	Resistance	Qty.	Total (kN)
Ply Brace	600	6.0 kN/lm		
Ply Brace	900	6.0 kN/lm	05	27.00
Metal Strapping (double cross)	2000	3.0 kN/lm		
<b>Total Resistance Achieved</b>				<b>27.00</b>

Lower Level - **32.68 kN** Required

Direction X	N2		Sheet Roof	
Type	Length	Resistance	Qty.	Total (kN)
Ply Brace	600	6.0 kN/lm		
Ply Brace	900	6.0 kN/lm	06	32.40
Metal Strapping (double cross)	2000	3.0 kN/lm		
<b>Total Resistance Achieved</b>				<b>32.40</b>

X - Total Required - **44.60 kN**

X - Total Achieved - **59.40 kN**

### Direction - Y

Upper Level - **41.16 kN** Required

Direction Y	N2		Sheet Roof	
Type	Length	Resistance	Qty.	Total (kN)
Ply Brace	600	6.0 kN/lm	01	3.6
Ply Brace	900	6.0 kN/lm	07	37.80
Metal Strapping (double cross)	2000	3.0 kN/lm		
<b>Total Resistance Achieved</b>				<b>41.40</b>

Lower Level - **45.20 kN** Required

Direction Y	N2		Sheet Roof	
Type	Length	Resistance	Qty.	Total (kN)
Ply Brace	600	6.0 kN/lm	02	7.20
Ply Brace	900	6.0 kN/lm	08	43.20
Metal Strapping (double cross)	2000	3.0 kN/lm		
<b>Total Resistance Achieved</b>				<b>50.40</b>

Y - Total Required - **86.36 kN**

Y - Total Achieved - **97.80 kN**

## Tie-Down Schedule

- Nominal fixings to all timber members in accordance with relevant standards; AS1684.2, AS1684.3

### M12 Cyclone rods to either side of external openings over 1800mm wide for N1, N2, N3 Sheet roofing

#### BATTENS / TRUSSES

- 1/No 14 Type 17 x 75mm screws, or as per truss manufacturer's specifications

#### TRUSS / TOP PLATE

- 1/30 x 0.8mm G.I. strap over each truss, 4/2.8mm diam. nails each end
- Girder truss to have 2/30 x 0.8mm G.I. straps, 4/2.8mm diam nails each end

#### LINTEL / TOP PLATE

- 30 X 0.8mm looped strap @900 crs max, 4 nails each end

#### LINTEL / JAMB STUD

- 30 x 0.8mm G.I. strap @900 crs max, 4/2.8mm diam. nails each end

#### BOTTOM PLATE / CONCRETE SLAB

- 1/75mm masonry nail, screw or bolt @1200 crs max.

Direction - Y

97.80 Kn Bracing Achieved  
86.36 Kn Bracing Required

- Denotes Tie-Down Rod

**N2**  
Sheet Roof

44.60 Kn Bracing Required

59.40 Kn Bracing Achieved

Direction - X

### Area Calculations

Living Lower:	29.56 sqm
Living Upper:	119.98 sqm
Garage:	36.08 sqm
Porch:	3.98 sqm
Alfresco:	12.31 sqm
<b>Total:</b>	<b>201.91 sqm</b>



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Owner / s .....Date.....

Client:

**XXX**

XXX

Title:

Bracing Plan

Design Name:

Outrigger 201

Plot Date: 6/07/2015

Drawing No: 11 of 12

Issue:

Scale: 1:100 @ A3

Designed By: MB

Working Drawings

Drawn By: MB

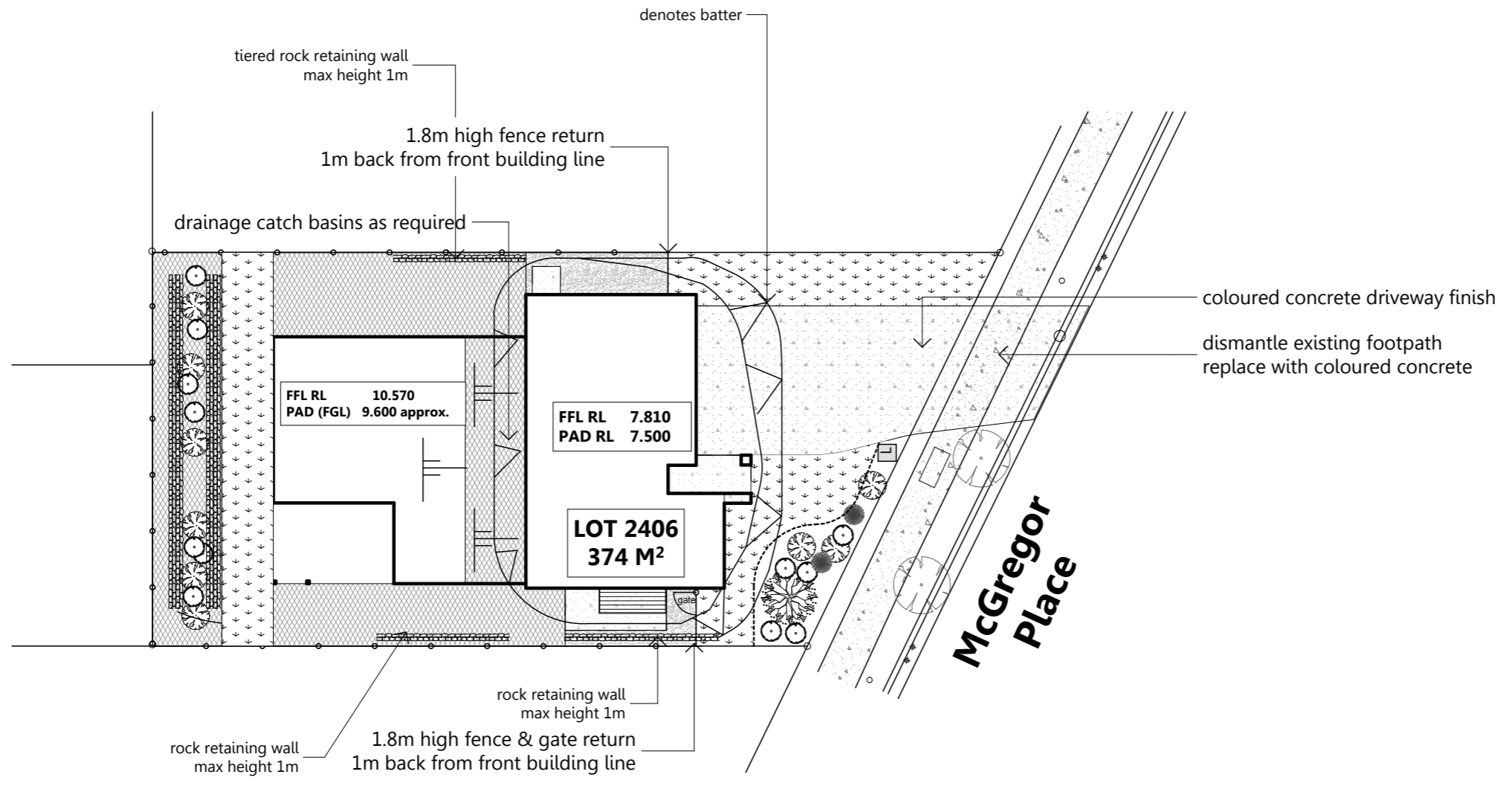
Checked By: MB



Landscaping / Planting Legend					
2D Plant Symbol					
Name	Waterhousia Floribunda	Syzygium Australe	Lxora Coccinea	Liriope "Evergreen Giant"	Diets Bicolor
Pot Size	45l	200ml	200ml	140ml	140ml
Width	3.5m	1.5-2.0m	2.0m	0.8m	1.0m
Height	8m	0.5-1.0m	0.5-1.0m	0.6m	0.8m

All plant species & quantities are indicative and subject to availability and suitability to site. Should a particular nominated plant not be available an equivalent replacement shall be used.

- Legend**
- coloured concrete
  - river pebbles (20 - 40mm, weed mat under)
  - Garden Mulch
  - 'A' grade turf
  - paved garden edging to front / timber to rear
  - 1800mm high timber fence
  - 1500mm high timber top rail & posts with pool style infill fencing
  - rock retaining wall
  - timber retaining wall
  - direction of fall
  - Rendered Letterbox
  - Rubbish Bins



Area Calculations	
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**XXX**  
 XXX

Title:  
**Landscaping Plan**  
 Design Name:  
**Outrigger 201**

Plot Date: 6/07/2015  
 Drawing No: 12 of 12  
 Issue:  
 Scale: 1:200 @ A3  
 Designed By: MB  
 Drawn By: MB  
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**Working Drawings**